

PHYSICAL ADDRESS:

1656 SUTTER ROAD
McKINLEYVILLE, CA 95519

MAILING ADDRESS:

P.O. BOX 2037
McKINLEYVILLE, CA 95519



MAIN OFFICE:

PHONE: (707) 839-3251
FAX: (707) 839-8456

PARKS & RECREATION OFFICE:

PHONE: (707) 839-9003
FAX: (707) 839-5964

REQUEST FOR PROPOSAL Architecture and Planning Services Teen/Community Center

December 15, 2011

The McKinleyville Community Services District (MCSD) is issuing a Request for Proposal (RFP) to provide interested consultants with sufficient information to enable them to prepare and submit proposals for consideration by MCSD for Architectural Services and Planning for the new Teen/Community Center Addition to the McKinleyville Activity Center at 1705 Gwin Road, McKinleyville, CA 95519. This project will include design and engineering for the new Teen/Community Center Addition building and related remodeling to the existing Activity Center building as well as site design and engineering required for the new Teen/Community Center and existing Activity Center property.

Sealed Proposals: Contractor will deliver eight copies (8), **the original and seven (7) copies**, to the following address:

**McKinleyville Community Services District
1656 Sutter Road (or mailed to P.O. Box 2037)
McKinleyville, CA 95519
Attn: Jason Schon, Parks & Recreation Director**

By 2:00 PM on Wednesday, February 15, 2012

Proposals received after the above cited time will be considered a late bid and are not acceptable unless waived by the MCSD General Manager.

- The envelope shall be clearly marked "RFP – Teen/Community Center".
- A non-mandatory pre-bid meeting is scheduled for January 10, 2012 at 2:00 PM at the McKinleyville Center, 1705 Gwin Road, McKinleyville, CA 95519.
- Please direct questions regarding this RFP to Jason Schon, McKinleyville Parks and Recreation Director at (707) 839-9003 or jason@mckinleyvillecsd.com.

Thank you for your interest.

Bidder's Company Name:

REQUEST FOR PROPOSAL
ARCHITECTURE AND PLANNING SERVICES

FOR A

NEW TEEN/ COMMUNITY CENTER

ADDITION TO THE

McKINLEYVILLE ACTIVITY CENTER

1705 Gwin Road, McKinleyville, CA

McKinleyville Community Services District

1656 Sutter Road

McKinleyville, CA 95519

McKinleyville Community Services District

P.O. Box 2037 1656 Sutter Road
McKinleyville, CA 95519

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Architecture and Planning Services
Teen/Community Center

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PROPOSAL INFORMATION

Definitions	“Bidder”	An individual or business submitting a bid to the McKinleyville Community Services District.
	“Consultant”	One who contracts to perform services in accordance with a contract.
	“MCSD”	McKinleyville Community Services District
	“A/E”	Architectural / Engineering

PROPOSAL TERMS

A. MCSD reserves the right to reject any and all proposals received as a result of this RFP. If a proposal is selected, it will be the most advantageous regarding price, quality of service, the Consultant’s qualifications, experience and capabilities to provide the specified service and other factors that the MCSD may consider. MCSD does not intend to award a contract fully on the basis of any response made to this proposal; MCSD reserves the right to consider proposals for modifications at any time before a contract would be awarded and negotiations would be undertaken with that contractor whose proposal is deemed the best to meet MCSD’s specifications and needs.

B. MCSD reserves the right to reject any or all proposals in whole or in part, to waive or not waive informalities or irregularities in bids or bidding procedures, and to accept or further negotiate cost, terms or conditions of any bid if determined by MCSD’s sole judgment to be in the best interests of MCSD, even though not the lowest bid.

C. Proposals must be signed by an official authorized to bind the bidder to its provisions for at least a period of 90 days. Failure of the successful bidder to accept the obligation of the contract may result in the cancellation of any award.

D. In the event it becomes necessary to revise any part of the RFP, addenda will be provided to all RFP recipients who register contact information with MCSD. Deadlines for submission of RFPs may be adjusted to allow for revisions. The entire proposal document with any amendments should be returned. To be considered, eight copies, **the original and 7 copies**, must be at the MCSD office on or before the date specified.

E. Proposals should be prepared simply and economically, providing straight forward, concise description of the bidder’s ability to meet the requirements of the RFP. Proposals shall be typewritten. No erasures are permitted. Mistakes may be crossed out and corrected and must be initialed in ink by the person signing the proposal.

F. Bidders may withdraw a proposal that has been submitted at any time up to the proposal closing date and time. To accomplish this, a written request signed by an authorized representative of the bidder must be submitted to the RFP contact. The bidder may submit another proposal at any time up to the proposed closing date and time.

G. MCSD is not liable and will not pay for any costs incurred by any bidder for the preparation and delivery of the RFP responses, nor will they be liable for any costs incurred prior to the execution of an agreement, including but not limited to presentations by RFP finalists to MCSD staff, community evaluators and board members.

H. A standard MCSD Services Agreement will be executed between MCSD and the selected consultant (see Appendix A)

PROPOSAL SPECIFICS

I. Description and Purpose of Proposed Work

This New Teen/Community Center Addition to the existing McKinleyville Activity Center will include the new Teen/Community Center building with approximately 7000 square foot conditioned area as well as remodeling to the existing McKinleyville Activity Center building as required for functionally and structurally connecting the two facilities. New parking areas, landscaping, walkways and an exterior patio are to be included as well as modification to existing site features on the adjacent MCSD properties as required by the new work.

Also included in the work is the facilitation of the merging of the lot, APN 510-401-25 to APN 510-401-15, 17, 19 & 21 (Pierson Park). Fees paid to the County of Humboldt for the processing and recording of this merger will be paid by MCSD.

MCSD will provide the bidders with program drawings: a preliminary / conceptual floor plan and preliminary exterior elevations of the proposed building (see Appendix B). A geotechnical soils report for the construction site has been prepared and is included in Appendix C.

II. Scope of Services

MCSD wishes to obtain the services of a qualified architectural firm in preparing the design plans, construction documents, engineering, etc., necessary for the accomplishment of this project. This proposal must include all phases from schematic design, design development, construction drawings, construction cost estimates, construction bidding coordination, construction administration and closeout.

This bid must include proposed design pricing for all necessary consultants and engineering. The bid must also include providing three-dimensional computer renderings of the proposed building for informational and fundraising use on the MCSD website.

The following phases are important milestones for MCSD:

PHASE 1: REVIEW OF EXISTING DOCUMENTS / PLANS

In this phase the selected design professional consultant is to review the existing McKinleyville Activity Center's design, construction and materials, and review the

preliminary program drawings and reports for the proposed Teen/Community Center facility. (MCSD's record construction plans for the existing McKinleyville Activity Center will be made available to the consultant.)

The design professional is also to meet with MCSD project team to review the specific activities to be conducted in the new facility and finalize project programming. (At least two meetings are anticipated, one for the project start up and one for follow-up input and review.) The design professional will be responsible for preparing minutes of all meetings, documenting topics discussed, actions taken and actions required and provide copies to the MCSD project team members.

PHASE 2: DESIGN DEVELOPMENT / 3-D RENDERINGS

In this phase the selected consultant is to prepare design development site and landscape plans, floor plans, exterior elevations and schematic building sections of the proposed design. The selected consultant will be responsible to meet with the MCSD project team to review the proposed design and provide feedback. Final design development drawings are to be of a quality and detail required to generate 3-dimensional computer renderings of the new Teen/Community Center for use on the MCSD website for public information and fundraising efforts. The design development drawings and computer renderings are also to be used by the consultant for a presentation to the McKinleyville Community Services District Board of Directors.

The design professional will be responsible for preparing minutes of all meetings, documenting topics discussed, actions taken and actions required and provide copies to the MCSD project team members.

A Statement of Probable Construction Cost is to be provided at the completion of the Design Development Phase.

PHASE 3: FINAL PLANS, SPECIFICATIONS AND BIDDING DOCUMENTS

In this phase the selected consultant will prepare final plans, specifications and bidding documents for the new Teen/Community Center. The selected consultant will be required to work closely with MCSD staff in preparing suitable plans, specifications and bidding documents. The new Teen/Community Center facility will require cable infrastructure to be installed for computers, telecom, intercom, printers and a video surveillance system. The consultant will be responsible to meet with the MCSD staff to review proposed equipment and systems. There must be plans provided at specific increments for owners review, markup and feedback.

A Statement of Probable Construction Cost is to be provided when the Construction Documents are 90% complete and should consist of advising MCSD of any adjustments that need to be made prior to issuing the Construction Documents for bidding. Any costs relating to revisions required to be made are the responsibility of the consultant A/E team and not MCSD.

The design professional consultant will be responsible for preparing minutes of all meetings, documenting topics discussed, actions taken, and actions required and provide copies to the MCSD project team members.

Letting the project for bid, along with advertising, will be the responsibility of MCSD. The design professional consultant will be responsible for providing electronic and reproducible copies of the bidding documents (plans, specifications, etc.) and any addendums to the bid documents. The consultant will not be responsible for the reproduction of the bidding documents.

PHASE 4: CONSTRUCTION ADMINISTRATION

In this phase the consultant will be responsible for construction administration during the construction phase of the project. This phase will last through the entire construction phase and into the occupancy phase. The following list is only a summary of the main responsibilities required during this phase. County of Humboldt Plan Check and Building Permit fees are to be paid by MCSD.

- Contractor interviews
- Weekly project meetings
- Building permit coordination
- Pay application review
- Submittal review
- Shop drawing review
- Request for Information (RFI) answering
- Prepare Change Orders and Construction Change Directives
- Weekly reports to MCSD
- Monthly status presentations to the MCSD Board of Supervisors
- Schedule reviews
- Preparation of as-built drawings
- Closeout and turnover

III. Project Control

1. The consultant will meet with selected representatives on a regular basis or as determined necessary by the MCSD Project Manager to review progress and provide necessary guidance to the consultant in solving problems which may arise.
2. Although there will be continuous liaison with the project team, the MCSD Project Manager will meet as often as required with the consultant's project manager for the purpose of reviewing progress and providing necessary guidance.
3. The consultant will on a regular basis, submit brief written summaries of the work accomplished during the reporting period, work to be accomplished during the subsequent reporting period, real or anticipated problems and notification of any significant deviation from previously agreed upon work plans.

4. Within 10 working days of the award of contract, the consultant will submit to the MCSD Project Manager for approval a work plan which includes the following:
 - a. The names and titles of personnel assigned to the project for the consultant and sub-consultants.
 - b. The project breakdown showing subprojects, activities and tasks
 - c. The time-phased plan for completing the project.

IV. Submittal Process and Details

Proposals should include the following:

1. Consultant's name, address, and name of primary contact person.
2. Provide a brief overview of your company including type of ownership, number of years in business and number of employees. Furnish your business philosophy, mission statement, management structure, organization chart.
3. Provide samples of related / comparable past projects that would serve as examples of experience and expertise necessary for this project. For each project identify the current staff working for the Consultant who have actually worked on the project. This is important because in many consultants' lists of past projects, the individuals who actually worked on the project may no longer be employed by the Consultant.
4. The bidding Consultant is encouraged to include any recommended initial changes or improvements to the provided preliminary/conceptual plans (Appendix B), based on your professional insight and experience. This should include a revised preliminary /conceptual floor plan that would address any proposed changes or improvements. Bidder's conceptual design recommendations will be a factor in the review of your proposal.
5. Provide a description of the specific staff which will comprise the project team for this assignment. Include names, company names and contact phone numbers of up to three current customers this design team is working with.
6. Document your expected workload during the project period (i.e. readiness to serve) and evidence of ability to work within tight time constraints. Provide a draft of your proposed project schedule should you be awarded the contract.
7. Provide the name, location and availability of intended sub-consultants. (While MCSD does not require consultants to be local firms, availability to discuss design questions is a primary concern.) A/E consultants are to be licensed in the State of California.
8. Provide a proposed fee structure for the work to be performed, including costs from all anticipated subcontractors. Provide a cost statement identifying hourly rates and expenses for this project. (This contract will include no reimbursable expenses.)
This information must be included in the proposal.

9. Provide a description of any work or services that would be performed “pro bono” as a charitable donation to McKinleyville Parks and Recreation.
10. Provide a list of client references.
11. Indicate any professional organizations to which you belong and describe any design awards that may be applicable.
12. Minimum Insurance Standard Guidelines / General Liability Requirements of \$1,000,000 and Professional Liability coverage with a minimum limit of \$1,000,000 each occurrence.
13. Identify and briefly describe any on-going legal proceedings or pending legal proceedings (arbitration, complaint or court action) filed by an owner or contractor against your firm for any project for which you provided architectural services in the past 5 years.

It is not the intent of this RFP to solicit an overly long response, but it is important that the firm's experience/expertise be adequately described. It will, for example be much more useful to address abilities and current staff expertise directly comparable to this project than to include an exhaustive list of all projects completed by the firm. MCSD staff will review the submitted proposals and will select firms to meet within an interview format to discuss the project and consultant qualifications in greater detail. The selected consultant will meet with MCSD to negotiate final compensation for the project, and prepare a contractual agreement between MCSD and the consultant, as soon after the final selection as is reasonable. A separate sealed estimate of breakdown of hours of the project team may be requested.

V. Preliminary schedule

A project schedule shall be provided demonstrating the time elements in weekly intervals. This project schedule must consider all major elements and their relations, as described in the Scope of Services. Please submit your proposal to meet the following proposed schedule:

Pre-bid walkthrough date	January 10, 2012
Deadline for proposals	February 15, 2012
Complete review of proposals/ Selection of firms to interview	March 30, 2012
Candidate Interviews	April 4–20, 2012
Contract Award	May 1, 2012
Kick off meeting	May 15, 2012
Construction Bidding	1 st quarter 2013
Construction begins	2 nd quarter of 2013

VI. Selection Process

The MCSD Project Team will make the final selection for the contract award. Prior to final selection, a short list of up to three firms may be selected and required to present additional information, make presentations and be interviewed by the MCSD Evaluation and Selection Project Team.

If an award is made as a result of this RFP, it shall be awarded to the consultant whose proposal is deemed most advantageous by MCSD with regard to price and other factors including but not limited to responses to RFP submittal requirements, demonstrated technical ability and expertise, financial stability, reference calls and/or recommendations, memberships, licenses or any other applicable certifications, presentations to the MCSD Evaluation and Selection Project Team and others (if applicable), work/product samples and any additional criteria deemed appropriate by MCSD which would lend itself to establishing the consultant's viability to perform the work as outlined in this RFP.

MCSD shall attempt to negotiate a contract with the consultant with the consultant who offered the most advantageous proposal at a price which MCSD determines is fair and reasonable. If MCSD is unable to negotiate a satisfactory contract with the firm selected at a price MCSD deems fair and reasonable, negotiations with that firm shall be formally terminated and MCSD shall select the next best proposal and continue until an agreement is reached or the process is terminated.

SIGNATURE PAGE

Proposed costs must be provided; the selected consultant will meet with MCSD to negotiate final compensation for the project and prepare a contractual agreement between MCSD and the consultant. The undersigned agrees to enter into an agreement with MCSD to provide the services described for:

\$ _____

_____ (above amount in words)

Signature

Date

Print Name

Title

Company Name

Type of Business (Corporation, Partnership,
Sole Proprietorship, LLC)

Company Address

City

State

Zip

Telephone #

Fax #

Email

Federal Tax ID #

The above individual is authorized to sign on behalf of the company submitting the proposal. This bid is valid for 90 days from the date of the above signature. The Contractor/ Consultant will be required to provide insurance certificates and sign a Standard McKinleyville Community Services District Service Contract (Appendix A).

Note: Please include this completed form in your proposal. Thank you.

NON-COLLUSION CERTIFICATE

I certify that this response is made without prior understanding, agreement or connection with any corporation, firm or person submitting an offer for this Request for Proposal, and is in all respects fair and without collusion or fraud.

The below signed bidder has not divulged to nor discussed or compared his/her response with other bidders and has not colluded with any other bidder or any other parties to this RFP whatsoever. Note: No premiums, rebates or gratuities to any employee or agent are permitted with, prior to, or after any delivery of materials and/or services. Any such violation will result in the cancellation of services as applicable.

Signature

Date

Print Name

Title

Company Name

Company Address

City

State

Zip

The above individual is authorized to sign on behalf of the company submitting the proposal.

Note: Please include this completed form in your proposal. Thank you.

McKinleyville Community Services District
PO Box 2037, McKinleyville California 95519
Telephone (707) 839-3251 - FAX (707) 839-8456

Professional Services Agreement

This Professional Services Agreement (this "Agreement") is made and entered between the parties listed below as of the date(s) set forth below. For your protection, make sure that you read and understand all provisions before signing. The terms recited as sections a through t on Pages 2 & 3 are incorporated in this document and, along with this page, constitute material terms and conditions of the Agreement between the parties.

TO: _____ DATE: _____

Agreement No. _____

The undersigned Consultant offers to furnish the following services (the "Services"):

As described in the proposal submitted by Consultant dated DATE HERE, which is attached hereto as **Exhibit A** and incorporated herein by reference. The Services shall be provided on a time and materials basis not to exceed the amounts described in **Exhibit B**, which is attached hereto and incorporated herein by reference. The scope of work for this project includes the following:

Contract price \$

Completion date _____

Payment Intervals:

Monthly

Instructions: Sign and return original. Upon acceptance by McKinleyville Community Services District, a copy will be signed by its authorized representative and promptly returned to you. Insert below, the names of your authorized representative(s).

Accepted: McKinleyville CSD

Consultant:

(Business Name)

By Norman Shopay

By _____

Title _____

Title _____

Other authorized representative(s):

Other authorized representative(s):

Gregory Orsini

Consultant agrees with McKinleyville Community Services District that:

a.

Indemnification. To the fullest extent permitted by law and consistent with California Civil Code §2782.8(a), Consultant will defend, indemnify and hold harmless McKinleyville Community Services District, its directors, officers, employees, and authorized volunteers (collectively "District") from and against all claims, demands and damages of all persons and entities that arise out of, pertain to, or relate to the Consultant's negligent acts or omissions, recklessness, or willful misconduct in the performance (or non-performance) of the Services under this Agreement. Consultant shall not be obligated to defend or indemnify the District from and against all claims, demands and damages that arise out of, pertain to, or relate to the District's own negligent acts or omissions, recklessness, or willful misconduct or the negligent acts or omissions, recklessness, or willful misconduct of others.

b.

Standard of Care. In providing the Services under this Agreement, Consultant shall exercise that degree of skill and care ordinarily used by other reputable members of Consultant's profession, practicing in the same or similar locality and under similar circumstances.

c.

Workers Compensation Insurance. By his/her signature hereunder, Consultant certifies that he/she is aware of the provisions of Section 3700 of the California Labor Code which require every employer to be insured against liability for workers' compensation or to undertake self-insurance in accordance with the provisions of that Code, and that Consultant will comply with such provisions before commencing the performance of the professional services and work under this Agreement. Consultant and sub-consultants will keep workers' compensation insurance for their employees in effect during all Services covered by this Agreement.

d.

Professional Liability Insurance. Consultant will file with McKinleyville Community Services District, before beginning professional services, a certificate of insurance satisfactory to the McKinleyville Community Services District evidencing professional liability coverage of not less than \$1,000,000 per claim and annual aggregate, requiring 30 days notice of cancellation (10 days for non-payment of premium) to McKinleyville Community Services District. Coverage is to be placed with a carrier with an A.M. Best rating of no less than A:-VII, or equivalent, or as otherwise approved by McKinleyville Community Services District. The retroactive date (if any) is to be no later than the effective date of this Agreement. Consultant shall maintain such coverage continuously for a period of at least three years after the completion of the contract Services. Consultant shall purchase a one-year extended reporting period i) if the retroactive date is advanced past the effective date of this Agreement; ii) if the policy is canceled or not renewed; or iii) if the policy is replaced by another claims-made policy with a retroactive date subsequent to the effective date of this Agreement. In the event that the Consultant employs other consultants (sub-consultants) as part of the Services covered by this Agreement, it shall be the Consultant's responsibility to require and confirm that each sub-consultant meets the minimum insurance requirements specified above prior to the commencement of any Services by the sub-consultant.

e.

Insurance Certificates. Consultant will file with McKinleyville Community Services District, before beginning professional services, certificates of insurance satisfactory to McKinleyville Community Services District evidencing general liability coverage of not

less than \$1,000,000 per occurrence (\$2,000,000 general and products-completed operations aggregate (if used)) for bodily injury, personal injury and property damage; auto liability of at least \$1,000,000 for bodily injury and property damage each accident limit; workers' compensation (statutory limits) and employer's liability (\$1,000,000) (if applicable); requiring 30 days (10 days for non-payment of premium) notice of cancellation to McKinleyville Community Services District. The general liability coverage is to state or be endorsed to state "such insurance shall be primary and any insurance, self-insurance or other coverage maintained by McKinleyville Community Services District, its directors, officers, employees, or authorized volunteers shall not contribute to it". The general liability coverage shall give McKinleyville Community Services District, its directors, officers, employees, and authorized volunteers insured status using ISO endorsement CG2010, CG2033, or equivalent. Coverage is to be placed with a carrier with an A.M. Best rating of no less than A-:VII, or equivalent, or as otherwise approved by McKinleyville Community Services District. In the event that the Consultant employs other consultants (sub-consultants) as part of the Services covered by this Agreement, it shall be the Consultant's responsibility to require and confirm that each sub-consultant meets the minimum insurance requirements specified above.

- f. **Renewal Certificates.** If any of the required coverages expire during the term of this Agreement, the Consultant shall deliver the renewal certificate(s) including the general liability additional insured endorsement to McKinleyville Community Services District at least ten (10) days prior to the expiration date.
- g. **General Manager Authority.** Consultant shall not accept direction or orders from any person other than the General Manager or the person(s) whose name(s) is (are) inserted on Page 1 as "other authorized representative(s)" on behalf of McKinleyville Community Services District.
- h. **Payment Intervals.** Payment, unless otherwise specified on Page 1, is to be 30 days after acceptance of a written invoice by McKinleyville Community Services District.
- i. **Permits and Licenses.** Permits and licenses required by governmental authorities in connection with Consultant's services will be obtained at Consultant's sole cost and expense, and Consultant will comply with applicable local, state, and federal regulations and statutes including Cal/OSHA requirements.
- j. **Amendments and Modifications.** Any change in the scope of the professional Services to be done, method of performance, nature of materials, work provided or price thereof, or to any other matter materially affecting the performance or nature of the Services will not be paid for or accepted unless such change, addition or deletion is approved in advance, in writing by a supplemental Agreement executed by McKinleyville Community Services District. Consultant's "authorized representative(s)" has (have) the authority to execute such written change for Consultant.
- k. **Warranties.** Consultant represents and warrants that it is now, and will remain for the duration of its Services, properly licensed, qualified, experienced, and equipped to perform the Services. Consultant also represents and warrants that the Services shall be completed in strict accordance with this Agreement. Consultant further represents and warrants that the Services and the sale or use of the Services shall not infringe, directly or indirectly, on any valid patent, copyright or trademark, and Consultant shall, at Consultant's sole cost and expense, indemnify, defend and hold harmless McKinleyville

Community Services District from and against any and all claims and causes of action based on alleged or actual infringements thereof. These warranties shall survive the expiration or termination of this Agreement, and are in addition to any warranties provided by law. No payment to Consultant for any Services performed hereunder (including, without limitation, final payment) shall constitute a waiver of any Claims by McKinleyville Community Services District against Consultant relating to the Services.

- i. **Ownership of Drawings and Samples.** Consultant shall submit promptly for all drawings, details, samples and other data required or specifically requested by McKinleyville Community Services District in connection with provision of the Services, and such drawings, details, samples and other data created in connection with performance of the Services and provision of the work shall constitute the property of the McKinleyville Community Services District.
- m. **Compliance with Law/Safety.** In performance of the Services, Consultant shall, at its expense, exercise due professional care, comply strictly with, and cause all sub-consultants to comply strictly with, all laws, orders, rules and regulations of governmental authorities, including those relating to the storage, use or disposal of hazardous wastes, substances or materials, and including the procurement and payment for all necessary permits, certificates and licenses required in connection with the Services. If either Consultant or McKinleyville Community Services District receives notice of any violation by Consultant of any laws relating to Consultant or McKinleyville Community Services District receives notice of any violation by Consultant of any laws relating to Consultant's (or sub-consultants) services or work provided hereunder, such party shall promptly inform the other party in writing of the existence thereof. Consultant shall comply with all applicable laws relating to safety, including without limitation the Occupational Safety and Health Act of 1970 as it may be amended from time to time, and all regulations and standards issued pursuant thereto. Consultant shall conform to the current prevailing standards of safety practice and shall observe and comply with all policies, procedures, rules and regulations of McKinleyville Community Services District.
- n. **Equal Opportunity.** In the performance of the Services there shall be no discrimination on account of race, religion, sex, sexual orientation, age or national origin and Consultant shall comply with applicable federal, state and local laws and regulations pertaining to fair employment practices, including without limitation the provisions of Executive Order 11246 as amended by the President of the United States and the rules and regulations issued pursuant thereto, unless exempted.
- o. **Termination.** McKinleyville Community Services District may, at its option, terminate this Agreement without cause at any time. If at the time of any such termination, any Services have already been provided by Consultant but are unpaid for, McKinleyville Community Services District's only obligation, if Consultant is not in default, shall be to pay for such Services actually provided by Consultant prior to the date of termination. Upon receipt of notice of termination, Consultant shall immediately stop all performance hereunder except as otherwise directed by McKinleyville Community Services District, and if Consultant is not in default, McKinleyville Community Services District shall pay to Consultant (a) the prorata portion of the agreed price based on the percentage completion of the Services which was satisfactorily completed at the time of termination, and (b) the actual net costs incurred by Consultant directly connected with the Services that was not completed prior to the date of termination; provided, however, that under no circumstances shall the total under (a) and (b) exceed the contract price stated on page one (1) of this Agreement, above. Upon such payment, title to any such items or uncompleted Services shall, at McKinleyville Community Services District's option, pass to McKinleyville Community Services District.

- p. **Default.** Upon any default by Consultant hereunder, or in the event of proceedings by or against Consultant in bankruptcy or for the appointment of a receiver or trustee or an assignment for the benefit of creditors, McKinleyville Community Services District may, at its option, terminate this Agreement without penalty or liability (except for payment for any Services completed and accepted by McKinleyville Community Services District). Consultant shall be liable to McKinleyville Community Services District for all expenses incurred by McKinleyville Community Services District in finishing the Services and any damage incurred through any default, which at the option of McKinleyville Community Services District, may be charged against any amounts due from McKinleyville Community Services District to Consultant hereunder, but Consultant's liability hereunder shall not be limited thereby and such liability shall survive the expiration or termination of this Agreement. Any remedies provided for in this Agreement are cumulative and shall be in addition to, and not in limitation of, any other rights and remedies that may be available at law or in equity. Neither party shall be in default of this Agreement until such party has received three (3) days written notification (except in the instance of a health or safety concern, in which case failure to immediately remediate the health or safety violation shall be grounds to declare a default of this Agreement), and an opportunity to cure, or in the case of an alleged default which requires more than three (3) days to cure, a reasonable time so long as the alleged defaulting party commences the remediation of the default immediately, and thereafter diligently prosecutes the same to completion.
- q. **Notices.** Notices, requests, demands, and other communications hereunder shall be in writing and delivered personally, sent by reputable overnight courier or mailed by first class, United States mail, with postage prepaid, to McKinleyville Community Services District, **PO Box 2037, McKinleyville California 95519, Attention: Norman Shopay**, and to Consultant at the address set forth below its signature, or at any other address that may be given by either party to the other in the manner provided above. Notices delivered personally or sent by overnight courier shall be deemed delivered upon receipt. Notices delivered by mail shall be deemed delivered upon the earlier of (i) receipt or (ii) the date three (3) U.S. mail delivery days after the notice was placed in the United States mail as provided above.
- r. **Headings.** All section headings are provided for convenience only, and shall not be deemed to constitute material terms and conditions of this Agreement.
- s. **Interpretation.** Both Consultant and McKinleyville Community Services District are deemed to have jointly participated in the negotiation and preparation of this Agreement. Consequently, both Consultant and McKinleyville Community Services District are considered to have drafted this Agreement in equal parts and, if any ambiguity is found to exist, all rules of law and evidence requiring ambiguities to be interpreted to the detriment of the drafting party shall not apply.
- t. **Attorneys Fees and Venue for Disputes.** If litigation becomes necessary to enforce the terms and provisions of this Agreement or as a result of any breach by Consultant or District of this Agreement, the prevailing party in any such litigation shall be entitled to recover reasonable attorney's fees and costs. The Humboldt County Superior Court for the State of California shall have exclusive jurisdiction over any dispute arising out of this Agreement or Consultant's provision of Services hereunder, and shall serve as the venue for any such dispute. All parties expressly consent to this designation of jurisdiction and venue.



Reference: 011034.040

December 9, 2011

Mr. Norman Shopay
General Manager
McKinleyville Community Services District
P.O. Box 2037
McKinleyville, CA 95519

**Subject: Preliminary Geotechnical Report for a Proposed Addition to the
McKinleyville Activity Center, 1685 Gwin Road, McKinleyville, California;
APN 510-401-025**

Dear Mr. Shopay:

This report documents the results of the geotechnical investigation conducted in November 2011 by SHN Consulting Engineers & Geologists, Inc. (SHN). This letter report is intended to provide findings, conclusions, and recommendations related to general geotechnical aspects of project design and construction. This report is also intended to satisfy the requirements of the Humboldt County Building Department for the proposed project.

1.0 Site Location

Address: 1685 Gwin Rd., McKinleyville, California
Assessor's Parcel Number: 510-401-025
Latitude and Longitude: 40.9427, -124.0982
The project location is shown on Figure 1.

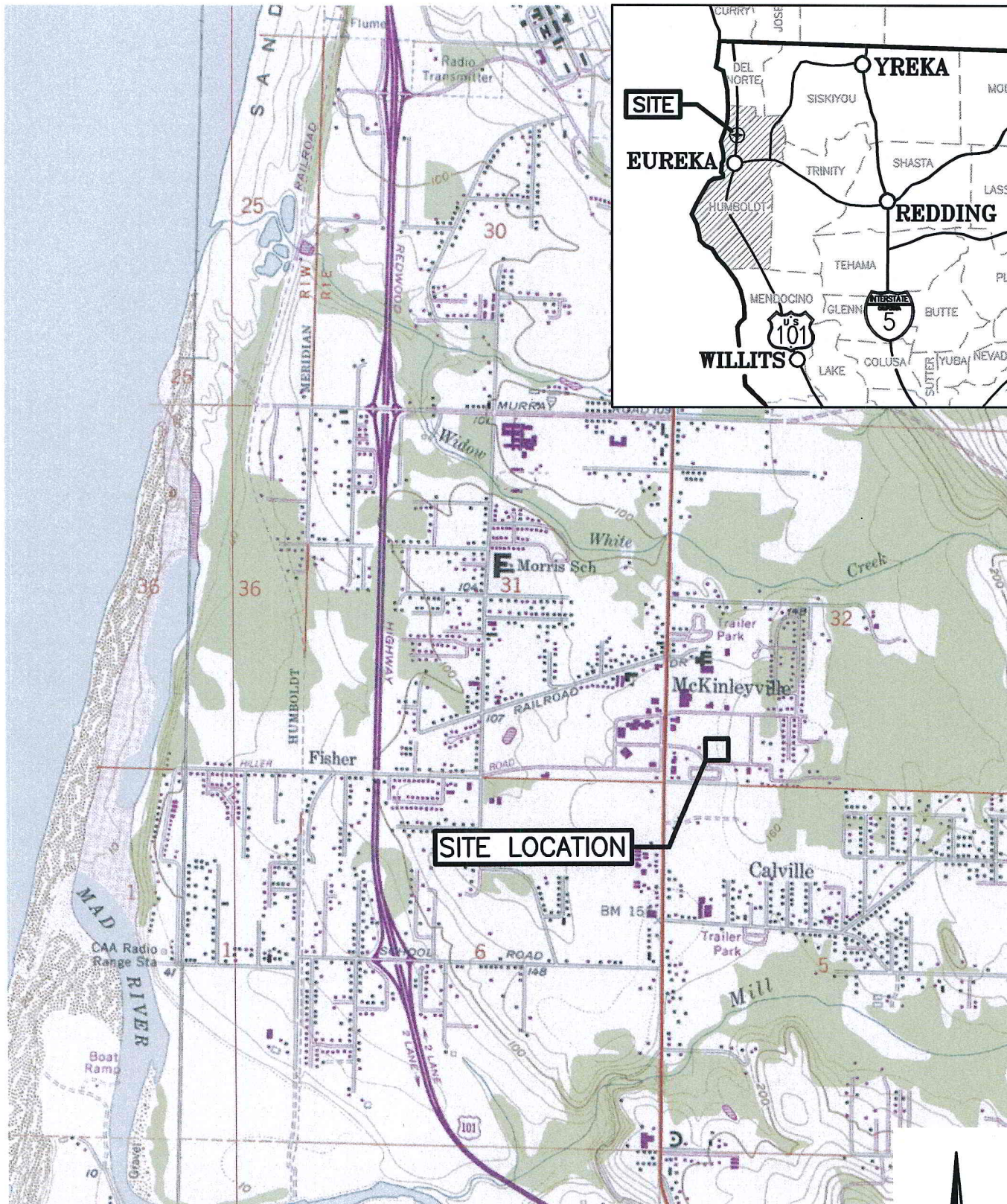
2.0 Project Description

We understand that the project consists of a one-story, approximately 6,790-square foot (97 feet by 70 feet) addition to the existing McKinleyville Activity Center. The proposed location of the addition is on the west side of the existing building and is expected to be contiguous with the existing structure as shown on the site plan, Figure 2. Foundation plans were not developed at the time of this writing and a design team has not been formed. The existing structure is a metal building with loads transferred onto a perimeter footing. Design details, especially depth and width of footings for the existing structure are unknown. We expect that the foundation system for the structure will consist of a concrete slab-on-grade and continuous perimeter footing.

3.0 Field Investigation and Laboratory Testing

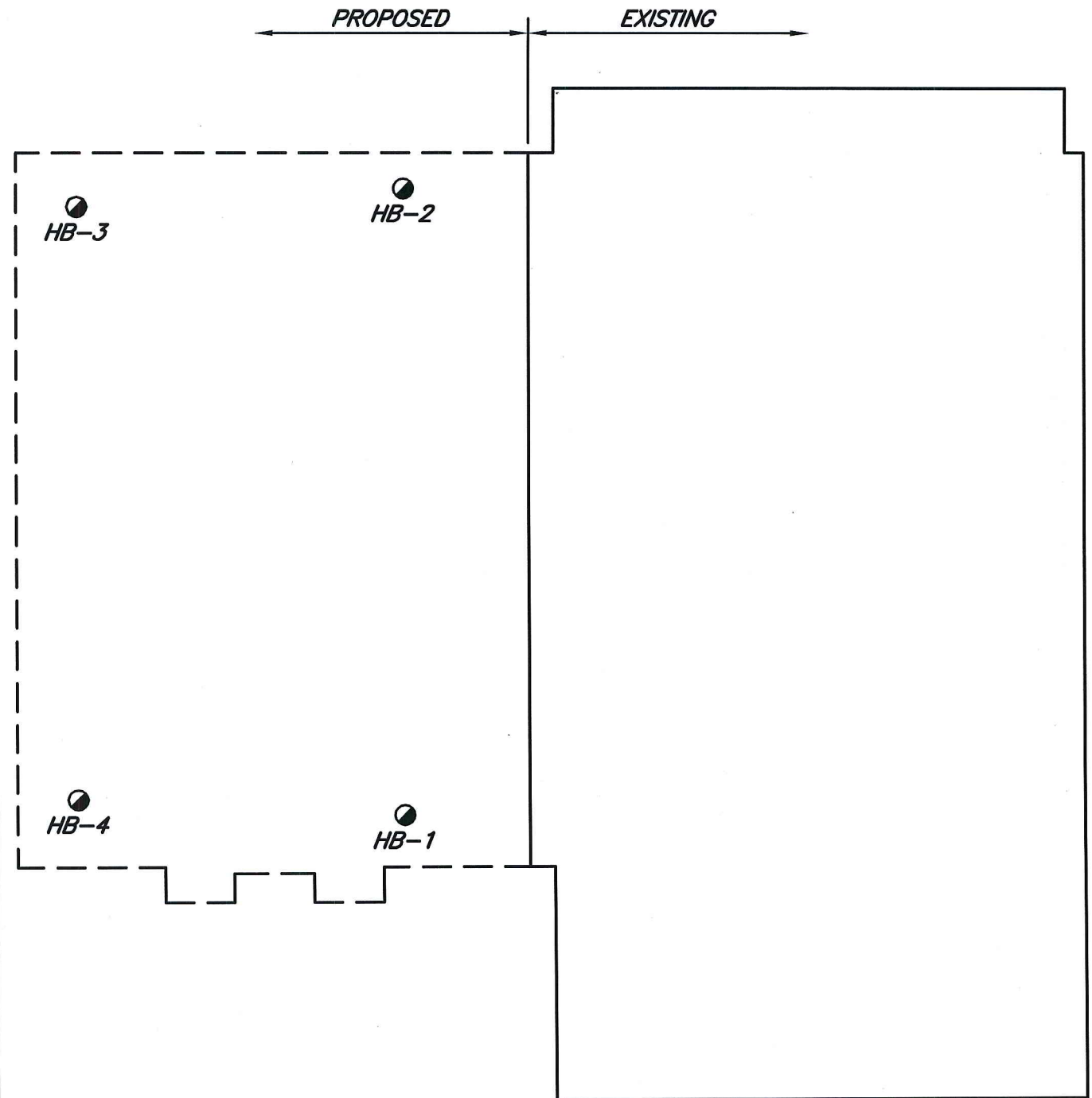
On November 10, 2011, a geologist from SHN evaluated the proposed building site. Four hand-augered borings (HB-1 through HB-4, see Figure 2) were advanced to depths ranging from 4.0 to 6.25 feet below the ground surface (BGS). Soils were logged in general accordance with the Unified Soil Classification System (USCS). Undisturbed samples were collected and laboratory moisture-density tests were conducted. Descriptions of the soil profiles and laboratory test results are presented on the attached field logs (Attachment 1).

\\Zing\projects\2011\011034-MCSD-MSA\Drawings - SAVED: 12/7/2011 1:47 PM NDOWNEY, PLOTTED: 12/9/2011 5:08 PM, NATHAN DOWNEY



SOURCE: ARCATA NORTH, TYEE CITY
USGS 7.5 MINUTE QUADRANGLES

\\Zing\projects\2011\011034-MCSD-MSA\Drawgs , SAVED: 12/7/2011 1:44 PM NDOWNNEY, PLOTTED: 12/9/2011 5:12 PM, NATHAN DOWNEY



EXPLANATION

● **HAND AUGER BORING
LOCATION AND DESIGNATION**

□ **OUTLINE OF PROPOSED
ADDITION**

SOURCE: BASE MAP PROVIDED BY
BONNIE OLIVER ARCHITECT

NOTE: ALL LOCATIONS APPROXIMATE

SH
Consulting Engineers
& Geologists, Inc.

McKinleyville Community Services District
Family Center Soils Report
McKinleyville, California

Site Plan
SHN 011034.040

November 2011

011034-040-SITE

Figure 2

4.0 Site Conditions

The project site is situated on a broad late-Pleistocene-age marine terrace that exists throughout much of the McKinleyville area. The location of the proposed addition, west of the existing structure is generally flat with a small, 1-to 2-foot drop in elevation from soil mounds that exists in the northern portion of the proposed footprint. The surface is grass with a sidewalk within 5 feet of the existing structure.

During our investigation, we encountered varying amounts of fill in HB-1, HB-2, and HB-4. Fill materials consisted of dark brown to dark yellowish brown silty sand with gravel. Depths of the fill ranged from 1.25 feet BGS (HB-1 and HB-2) to 1.5 feet BGS (HB-4).

In general, native soils were encountered at the ground surface in HB-3 and beneath the fill in HB-1, HB-2, and HB-4. Native soil consists of dark brown sandy silt/silty sand (SM/ML) organic topsoil overlying medium dense to dense yellowish brown silty sand (SM) to the maximum depths explored. The dark brown color is attributed to a high concentration of organic material, which is typical of topsoil in the area. The topsoil extends to between 2.25 and 4.25 feet BGS. Descriptions of soils encountered in our borings are presented on the Attachment 1.

Groundwater was not observed during our investigation. Water levels can be expected to fluctuate in response to seasons, storm events, and other factors, and may become higher or lower than indicated by the subsurface observations made.

From our site investigation and our understanding of site geology and soils conditions, we estimate the site can be categorized as a Site Class D (stiff soil profile) in the upper 100 feet, for determining seismic loads for structural design as outlined in the 2010 California Building Code (CBC).

5.0 Geologic Hazards

- The principal geologic hazard at the site is strong to very strong levels of seismic shaking produced by earthquakes generated on the Mad River fault zone, or other regional sources along the north coast. The closest state-designated active faults to the project site are the Mad River fault, about 4,000 feet to the southwest, and the McKinleyville fault, about 5,000 feet to the northeast,
- The project site is not located within an Alquist Priolo Fault Hazard Zone.
- The project site is located on a flat lying surface, and we conclude that it has a negligible risk of slope instability or creep.
- The project site is not within a 100-year flood zone.
- We conclude that risk of liquefaction and lateral spreading are negligible to low due to the Pleistocene age of any underlying sand layers that may exist.
- The tsunami risk is considered negligible.

6.0 Conclusions and Discussion

Based on the results of our field and laboratory investigations, it is our opinion that the project site can be developed as proposed. The addition should be designed and built in accordance with the

Mr. Norman Shopay

Geotechnical Report for a Proposed Addition to the McKinleyville Activity Center, 1685 Gwin Road, McKinleyville, California; APN 510-401-025

December 9, 2011

Page 3

2010 CBC and the preliminary recommendations within this report. We do not expect the structure to contribute or be subject to substantial geologic hazards throughout the economic life span of the project.

The primary geotechnical site considerations are undocumented fill that was encountered in three of our borings and underlying organic topsoil. The latter is susceptible to compression that could result in excessive total and differential settlement of the proposed foundation system. These soils are typical of soils encountered in the McKinleyville area. To our knowledge, the fill is undocumented and is, therefore, considered inadequate for uniform support of the concrete slab in its existing condition.

The upper topsoil typically is of relatively low density and tends to be compressible when subjected to foundation loads. The material is unsuitable for reuse as structural fill. Typical recommendations where these conditions are encountered in the past have included:

- extend footing excavations down through the darker colored topsoil, into competent light-colored native soil; and
- remove the unsuitable topsoil and replace it with structural fill or weak sand cement slurry to support conventional shallow foundations.

No high plasticity clayey soils were encountered, therefore the risk of adverse consequences to the structure from expansive soils is considered low.

7.0 Recommendations

7.1 Seismic Design Criteria

We recommend that the proposed structure be designed and built to withstand strong seismic shaking. The minimum standard for construction of the structure should be in accordance with the 2010 California Building Code for the most seismically active areas.

Based on the Site Class and the latitude and longitude, we calculated the design spectral response acceleration parameters S_s , S_1 , F_a , F_v , S_{MS} , S_{M1} , S_{DS} , and S_{D1} using the United States Geological Survey (USGS) seismic calculator program, "Seismic Hazard Curves, Response Parameters, Design Parameters: Seismic Hazard Curves, and Uniform Hazard Response Spectra," v. 5.1.0, dated February 10, 2011. The resulting design spectral response acceleration parameters are presented in Table 1.

Table 1 Seismic Design Criteria	
Latitude	40.9427
Longitude	-124.0982
Site Class	D
S_s	2.690
S_1	1.051
F_a	1.0
F_v	1.50
S_{MS}	2.690
S_{M1}	1.576
S_{DS}	1.793
S_{D1}	1.051
Occupancy Category	II
Seismic Design Category	E

7.2 Site Preparation and Grading

In developing site grading recommendations, two options are envisioned:

1. Keep the site grade at about the existing grade, which will minimize importing fill. This will result in a finished floor slab lower than that of the existing building. However, the existing fill must be excavated and replaced as structural fill.
2. Raise the site grade to be equal to that of the existing building. This will result in excavating and compacting the existing fill and importing clean fill. This will also result in deeper foundations to the competent soils that were encountered below the organic topsoil.

There are utilities adjacent to the existing building that should be identified and relocated. As appropriate, notify Underground Service Alert (1-800-624-2444) prior to commencing site work, and use this location service and other methods to avoid injury or risk to life from underground and overhead utilities, and to avoid damaging them.

If site grades will not change appreciably (not including pavement or concrete slab and underlying base): Foundations are to be extended to the underlying non-organic native soil, regardless of site grade. To support the concrete slab, we recommend that existing fill be removed and replaced to a sufficient depth so that a relatively uniform 12 inches of compacted structural fill provides the support for the concrete slab-on-grade. There may be areas where additional fill is placed over existing fill to achieve site grade. Where that occurs, we recommend that the existing surface be proof-rolled to detect any soft areas and to induce compression of loose fill. The existing fill is suitable for reuse as structural fill; topsoil is not suitable.

If site grade is to be raised: This will extend the depth of foundations and the width of foundation excavations. The existing undocumented fill should be excavated and may be reused as structural fill prior to importing clean fill. Undocumented fill should be excavated for a distance of 5 feet beyond the proposed addition area, measured at the bottom of the excavation. This material may be reused as structural fill. A firm and unyielding surface should be established before additional structural fill is placed to raise site grade .

Structural fill may be required to raise the grades to support the floor slab. Structural fill material should consist of relatively non-plastic (Liquid Limit less than 40, Plasticity Index less than 14) material containing no organic material or debris, and no individual particles over 6 inches across. If gravel is used, it should be well graded, to include a variety of particle sizes to minimize relatively large void spaces, into which fine grained soils can migrate. We suggest the use of well-graded granular soils (sand, gravel) for fill, because these soils are relatively easy to moisture condition and compact.

Structural fill should be placed to design grades and compacted to a minimum of 90% of the maximum relative dry density as determined by the current American Society for Testing and Materials-International (ASTM) D1557 test method.

7.3 Foundations

Foundations should be sized, reinforced, and embedded at least to the minimum values in the 2010 California Building Code. However, because the existing topsoil is unsuitable for foundations support, one of the following options should be implemented:

1. Remove topsoil during site grading to expose the underlying yellow-brown native soil that is competent and removed from the site. Structural fill should be used to replace the unsuitable topsoil.
2. Leave topsoil in place and deepen foundations to extend at least 6 inches in the underlying yellow-brown native soil.
3. Leave topsoil in place and deepen foundation excavations to extend to the underlying yellow-brown native soil. The width of the excavation should be twice the width of the assumed perimeter footing. Backfill may consist of structural fill or a weak sand-cement slurry (2-sack mix) that is placed to raise the surface to the minimum foundation depth. Alternately, structural fill can be placed to subgrade elevation to allow foundation excavations to be cut neat into this material.

Foundations in native soil (not topsoil) may be designed so they do not exceed an allowable bearing capacity of 2,500 pounds per square foot (psf) for dead plus live loads. This value may be increased by one-third to account for the short-term effects of wind and/or seismic loading. Settlement estimates are provided under "Section 6.0: Conclusions and Discussion," above.

Any backfill soils placed alongside footings should be compacted to a minimum of 90% per the ASTM D 1557 test method.

A horizontal friction coefficient of 0.35 may be used for the footing-soil contact. Frictional resistance may be calculated in conjunction for short-term loadings (such as, lateral foundation resistance in response to wind or earthquake loadings). On the basis that structural fill will provide this temporary resistance, an allowable lateral passive pressure represented by an equivalent fluid weighing 300 pounds per cubic foot is appropriate.

The ground surface around the structure perimeter should be sloped away, or other design measures implemented to provide positive surface water drainage away from perimeter foundation areas.

We are not aware of design or construction details regarding the foundation system for the existing structure. Specifically, the depth of embedment of the perimeter footing and supporting soil (native competent soil, topsoil, structural fill) are not known. This determination should be made to assist the structural engineer in design if the new addition is to be tied into the existing structure.

7.4 Slabs-on-Grade

Concrete slabs-on-grade may be supported directly on at least 6 inches of crushed rock over structural fill that is placed in accordance with this report. If a moisture-sensitive floor covering is anticipated for the building, a vapor barrier should be used to minimize transmission of soil moisture and gas (methane, radon) up through floor slab. Typically, vapor barrier thickness

Mr. Norman Shopay

Geotechnical Report for a Proposed Addition to the McKinleyville Activity Center, 1685 Gwin Road, McKinleyville, California; APN 510-401-025

December 9, 2011

Page 6

should be 10 to 15 mils. The vapor barrier shall be in accordance with ASTM E-1745, "Standard Specifications for Vapor Barrier Retarders used in Contact with Soil or Granular Fill under Concrete Slabs." The product should be installed in accordance with the manufacturer's recommendations. There are many manufacturers that provide this product including, but not limited to, Sto-Cote Products (TU-TUFF), Griffolyn Company (T-65), 10 to 14 mil Stego Wrap, or any polyethylene vapor reduction membrane at least 10 mils in thickness. The membrane should be overlapped at least 12 inches and taped at joints. Concrete typically is poured directly on the vapor barrier, which has the added benefit of allowing a shorter concrete bleeding time and preventing water from leaving the concrete and wetting the subgrade. It is a common practice to cover the membrane with a few inches of sand to protect the membrane during construction, especially if the membrane is thin (around 10 mil) and to aid in concrete curing. Whether or not a sand layer is placed above the membrane, the membrane should be protected from tearing or puncture during construction.

8.0 Closure and Limitations

The analyses, conclusions, and recommendations contained in this report are based on site conditions that we observed at the time of our investigation, data from our subsurface explorations and laboratory tests, our current understanding of proposed project elements, and on our experience with similar projects in similar geotechnical environments. We have assumed that the information obtained from our limited subsurface explorations is representative of subsurface conditions throughout the site.

If the scope of the proposed construction, including the proposed loads, grades, or structural locations, changes significantly from that described in this report, our recommendations should also be reviewed.

If there is a substantial lapse of time between the submission of our report and the start of work at the site, or if conditions have changed due to natural causes or construction operations at or adjacent to the site, we should review our report to determine the applicability of the conclusions and recommendations considering the changed conditions and time lapse. This report is applicable only to the project and site studied.

The conclusions and recommendations presented in this report are professional opinions derived in accordance with current standards of professional practice. No representation, express or implied, of warranty or guarantee is included or intended. Our recommendations are tendered on the assumption that design of the improvements will conform to their intent.

The field work was conducted to investigate the site characteristics specifically addressed by this report. Assumptions about other site characteristics, such as hazardous materials contamination, or environmentally sensitive or culturally significant areas, should not be made from this report.

Mr. Norman Shopay

Geotechnical Report for a Proposed Addition to the McKinleyville Activity Center, 1685 Gwin Road, McKinleyville, California; APN 510-401-025

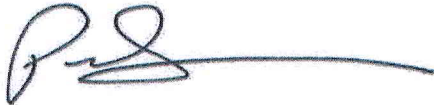
December 9, 2011

Page 7

This report concludes our work on the project in accordance with our current agreement. If you have any questions, please call either of us at 707-441-8855.

Sincerely,

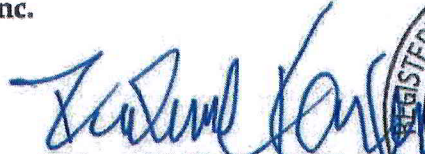
SHN Consulting Engineers & Geologists, Inc.



Paul R. Sundberg
Staff Geologist

PRS:RWH/JPB:lms

Attachment 1. Field Boring Logs



Richard W. Hanford, P.E., G.E.*
Senior Geotechnical Engineer



References Cited

ASTM E-1745, "Standard Specifications for Vapor Barrier Retarders used in Contact with Soil or Granular Fill under Concrete Slabs."

California Building Standards Commission. (2010). *2010 California Building Code-Title 24 Part 2, Two-Volumes*. Based on International Building Code (2009) by the International Code Council. Sacramento:California Building Standards Commission.

United States Geologic Survey. (February 10, 2011). "Seismic Hazard Curves, Response Parameters, Design Parameters: Seismic Hazard Curves, and Uniform Hazard Response Spectra," v. 5.1.0. NR:USGS.

---. (NR). Arcata North and Tyee City 7.5-Minute Quadrangles. NR:USGS.

Attachment 1

Field Boring Logs



CONSULTING ENGINEERS
& GEOLOGISTS

METHOD OF SOIL CLASSIFICATION

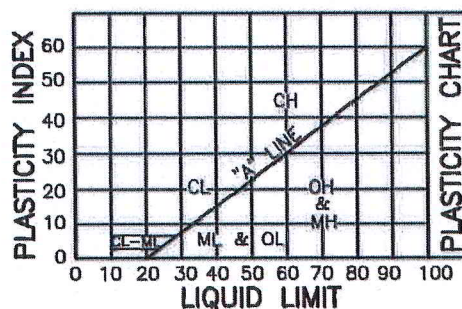
MAJOR DIVISIONS		SYMBOLS	TYPICAL NAMES
COARSE GRAINED SOILS (MORE THAN 1/2 OF SOIL >NO. 200 SIEVE SIZE)	<u>GRAVELS</u> (MORE THAN 1/2 OF COARSE FRACTION > NO.4 SIEVE SIZE)	GW	WELL GRADED GRAVELS OR GRAVEL-SAND MIXTURES, LITTLE OR NO FINES
		GP	POORLY GRADED GRAVELS OR GRAVEL-SAND MIXTURES, LITTLE OR NO FINES
		GM	SILTY GRAVELS, GRAVEL-SAND-SILT MIXTURES
		GC	CLAYEY GRAVELS, GRAVEL-SAND-CLAY MIXTURES
	<u>SANDS</u> (MORE THAN 1/2 OF COARSE FRACTION < NO.4 SIEVE SIZE)	SW	WELL GRADED SANDS OR GRAVELLY SANDS, LITTLE OR NO FINES
		SP	POORLY GRADED SANDS OR GRAVELLY SANDS, LITTLE OR NO FINES
		SM	SILTY SANDS, SAND-SILT MIXTURES
		SC	CLAYEY SANDS, SAND-CLAY MIXTURES
FINE GRAINED SOILS (MORE THAN 1/2 OF SOIL <NO. 200 SIEVE SIZE)	<u>SILTS & CLAYS</u> LIQUID LIMIT LESS THAN 50	ML	INORGANIC SILTS AND VERY FINE SANDS, ROCK FLOUR, SILTY OR CLAYEY FINE SANDS OR CLAYEY SILTS WITH SLIGHT PLASTICITY
		CL	INORGANIC CLAYS OF LOW TO MEDIUM PLASTICITY, GRAVELLY CLAYS, SANDY CLAYS, SILTY CLAYS, LEAN CLAYS
		OL	ORGANIC SILTS AND ORGANIC SILTY CLAYS OF LOW PLASTICITY
	<u>SILTS & CLAYS</u> LIQUID LIMIT GREATER THAN 50	MH	INORGANIC SILTS, MICACEOUS OR DIATOMACEOUS FINE SANDY OR SILTY SOILS, ELASTIC SILTS
		CH	INORGANIC CLAYS OF HIGH PLASTICITY, FAT CLAYS
		OH	ORGANIC CLAYS OF MEDIUM TO HIGH PLASTICITY, ORGANIC SILTY CLAYS, ORGANIC SILTS
		HIGHLY ORGANIC SOILS	

CLASSIFICATION CHART

CLASSIFICATION CHART

CLASSIFICATION	U.S. STANDARD SIEVE SIZE
BOULDERS	ABOVE 12"
COBBLES	12" TO 3"
GRAVEL COARSE FINE	3" TO NO. 4 3" TO 3/4" 3/4" TO NO. 4
SAND COARSE MEDIUM FINE	NO. 4 TO NO. 200 NO. 4 TO NO. 10 NO. 10 TO NO. 40 NO. 40 TO NO. 200
SILT & CLAY	BELOW NO. 200

GRAIN SIZE CHART



CONSISTENCY OF FINE GRAINED SOILS		DENSITY OF COARSE GRAINED SOILS	
CLASSIFICATION	COHESION (PSF)	CLASSIFICATION	STANDARD PENETRATION (BLOW COUNT)
VERY SOFT	0-250	VERY LOOSE	0-4
SOFT	250-500	LOOSE	4-10
MEDIUM STIFF	500-1000	MEDIUM	10-30
STIFF	1000-2000	DENSE	30-50
VERY STIFF	2000-4000	VERY DENSE	50+
HARD	4000+		

MOISTURE CLASSIFICATIONS

DRY
DAMP
MOIST
WET

BASED ON UNIFIED
SOILS CLASSIFICATION
SYSTEM



BORING LOG KEY

SAMPLE TYPES



DISTURBED
SAMPLE
(BULK)



HAND
DRIVEN TUBE
SAMPLE



1.4" I.D.
STANDARD
PENETRATION
TEST SAMPLE
(SPT)



2.5" I.D.
MODIFIED
CALIFORNIA
SAMPLE
(SOLID WHERE RETAINED)



CORE
BARREL
SAMPLE
(NOT RETAINED)



CORE
BARREL
SAMPLE
(RETAINED)

SYMBOLS



INITIAL WATER LEVEL



STABILIZED WATER LEVEL



GRADATIONAL CONTACT



WELL DEFINED CONTACT

SS

SPLIT SPOON



Consulting Engineers & Geologists, Inc.

812 West Wabash, Eureka, CA 95501 ph. (707) 441-8855 fax. (707) 441-8877

PROJECT: Proposed Teen/Family Center

JOB NUMBER: 011034.040

LOCATION: SE Corner of Proposed Addition

DATE DRILLED: 11/10/2011

GROUND SURFACE ELEVATION: Approx 152 Feet MSL

TOTAL DEPTH OF BORING: 6.0 Feet

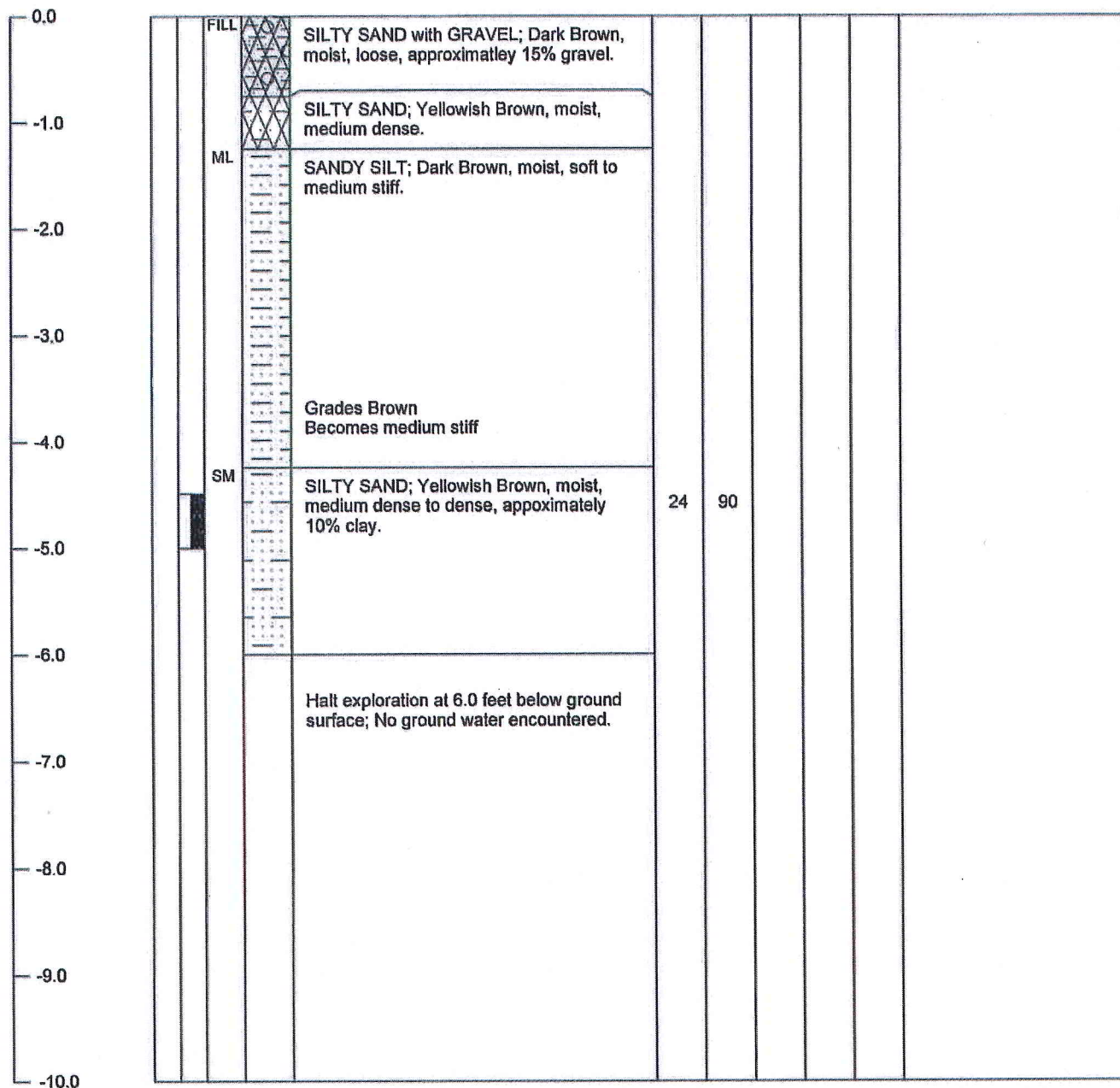
EXCAVATION METHOD: 3" Hand Auger

SAMPLER TYPE: 2.5-inch thin-walled tube

LOGGED BY: PRS

BORING
NUMBER
HB-1

DEPTH (FT)	BULK SAMPLES TUBE SAMPLE	USCS	PROFILE	SOIL DESCRIPTION (ASTM D 2488)	% Moisture	Dry Density (pcf)	Unc. Cor. (pcf)	U.C. (pcf) by P.P.	% Passing 200	REMARKS
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The log and data presented are a simplification of actual conditions encountered at the time of drilling at the drilled location. Subsurface conditions may differ at other locations and with the passage of time.

FIELD LOG

Page Number 1 of 1



Consulting Engineers & Geologists, Inc.

812 West Wabash, Eureka, CA 95501 ph. (707) 441-8855 fax. (707) 441-8877

PROJECT: Proposed Teen/Family Center

JOB NUMBER: 011034.040

LOCATION: NE Corner of Proposed Addition

DATE DRILLED: 11/10/2011

GROUND SURFACE ELEVATION: Approx 150 Feet MSL

TOTAL DEPTH OF BORING: 5.5 Feet

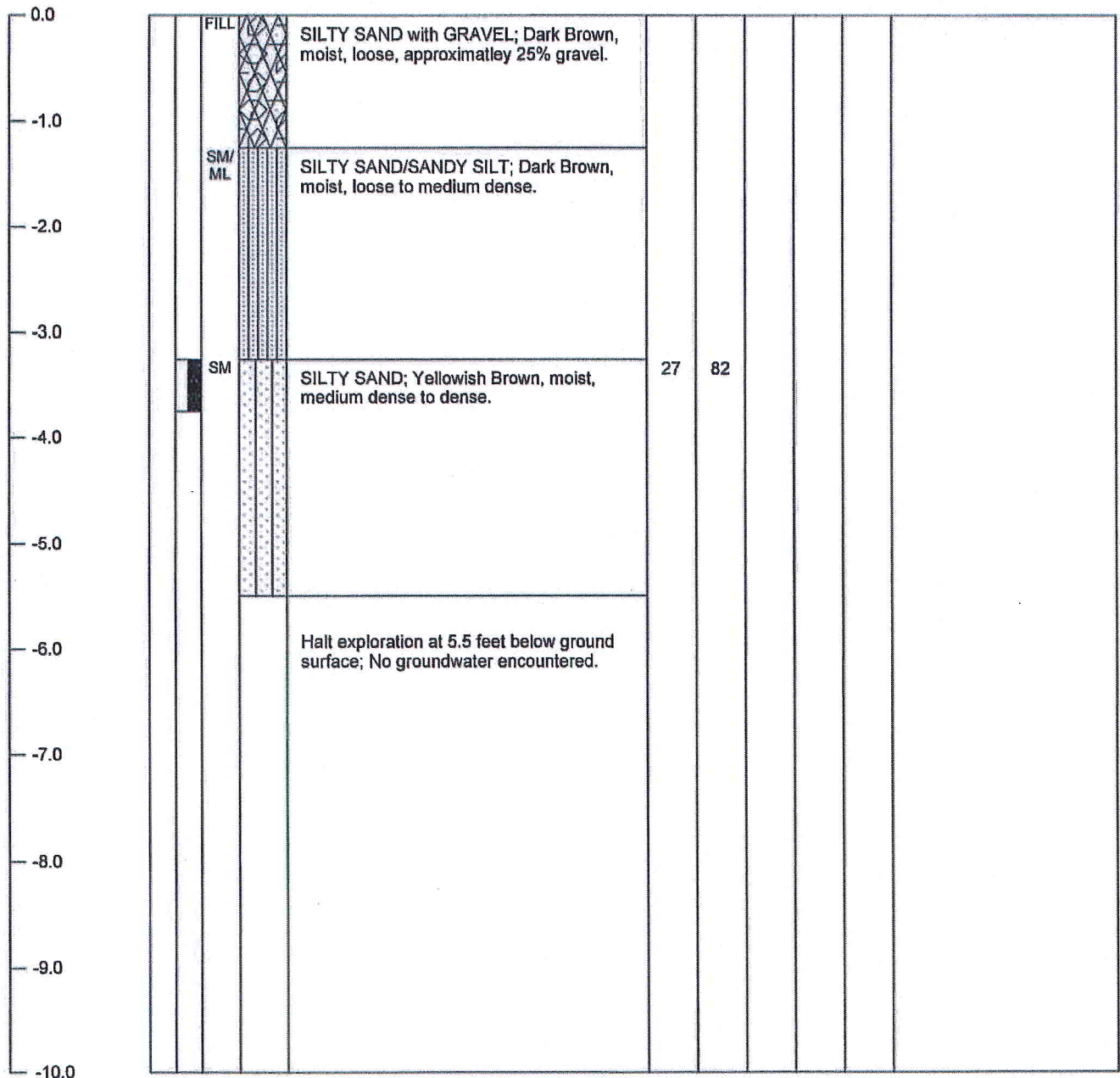
EXCAVATION METHOD: 3" Hand Auger

SAMPLER TYPE: 2.5-inch thin-walled tube

LOGGED BY: PRS

**BORING
NUMBER
HB-2**

DEPTH (FT)	BULK SAMPLES TUBE SAMPLE	USCS	PROFILE	SOIL DESCRIPTION (ASTM D 2488)	% Moisture	Dry Density (pcf)	Unc. Com. (pcf)	U.C. (pcf) by P.P.	% Passing 200	REMARKS
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The log and data presented are a simplification of actual conditions encountered at the time of drilling at the drilled location. Subsurface conditions may differ at other locations and with the passage of time.

FIELD LOG

Page Number 1 of 1



Consulting Engineers & Geologists, Inc.

812 West Wabash, Eureka, CA 95501 ph. (707) 441-8855 fax. (707) 441-8877

PROJECT: Proposed Teen/Family Center

JOB NUMBER: 011034.040

LOCATION: NW Corner of Proposed Addition

DATE DRILLED: 11/10/2011

GROUND SURFACE ELEVATION: Approx 150 Feet MSL

TOTAL DEPTH OF BORING: 4.0 Feet

EXCAVATION METHOD: 3" Hand Auger

SAMPLER TYPE: 2.5-inch thin-walled tube

LOGGED BY: PRS

**BORING
NUMBER
HB-3**

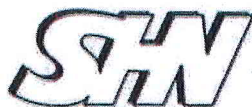
DEPTH (FT)	BULK SAMPLES TUBE SAMPLE	USCS	PROFILE	SOIL DESCRIPTION (ASTM D 2488)	% Moisture	Dry Density (pcf)	Unc. Cor. (pcf)	U.C. (pcf) by P.P.	% Passing 200	REMARKS
---------------	-----------------------------	------	---------	-----------------------------------	------------	-------------------	-----------------	--------------------	---------------	---------

0.0			SM	SILTY SAND; Dark Brown, moist, loose.						
-1.0										
-2.0										
-3.0				SILTY SAND; Yellowish Brown, moist, medium dense to dense.	25	86				
-4.0										
-5.0				Halt exploration at 4.0 feet below ground surface; No groundwater encountered.						
-6.0										
-7.0										
-8.0										
-9.0										
-10.0										

The log and data presented are a simplification of actual conditions encountered at the time of drilling at the drilled location. Subsurface conditions may differ at other locations and with the passage of time.

FIELD LOG

Page Number 1 of 1



Consulting Engineers & Geologists, Inc.

812 West Wabash, Eureka, CA 95501 ph. (707) 441-8855 fax. (707) 441-8877

PROJECT: Proposed Teen/Family Center

JOB NUMBER: 011034.040

LOCATION: SW Corner of Proposed Addition

DATE DRILLED: 11/10/2011

GROUND SURFACE ELEVATION: Approx 152 Feet MSL

TOTAL DEPTH OF BORING: 6.25 Feet

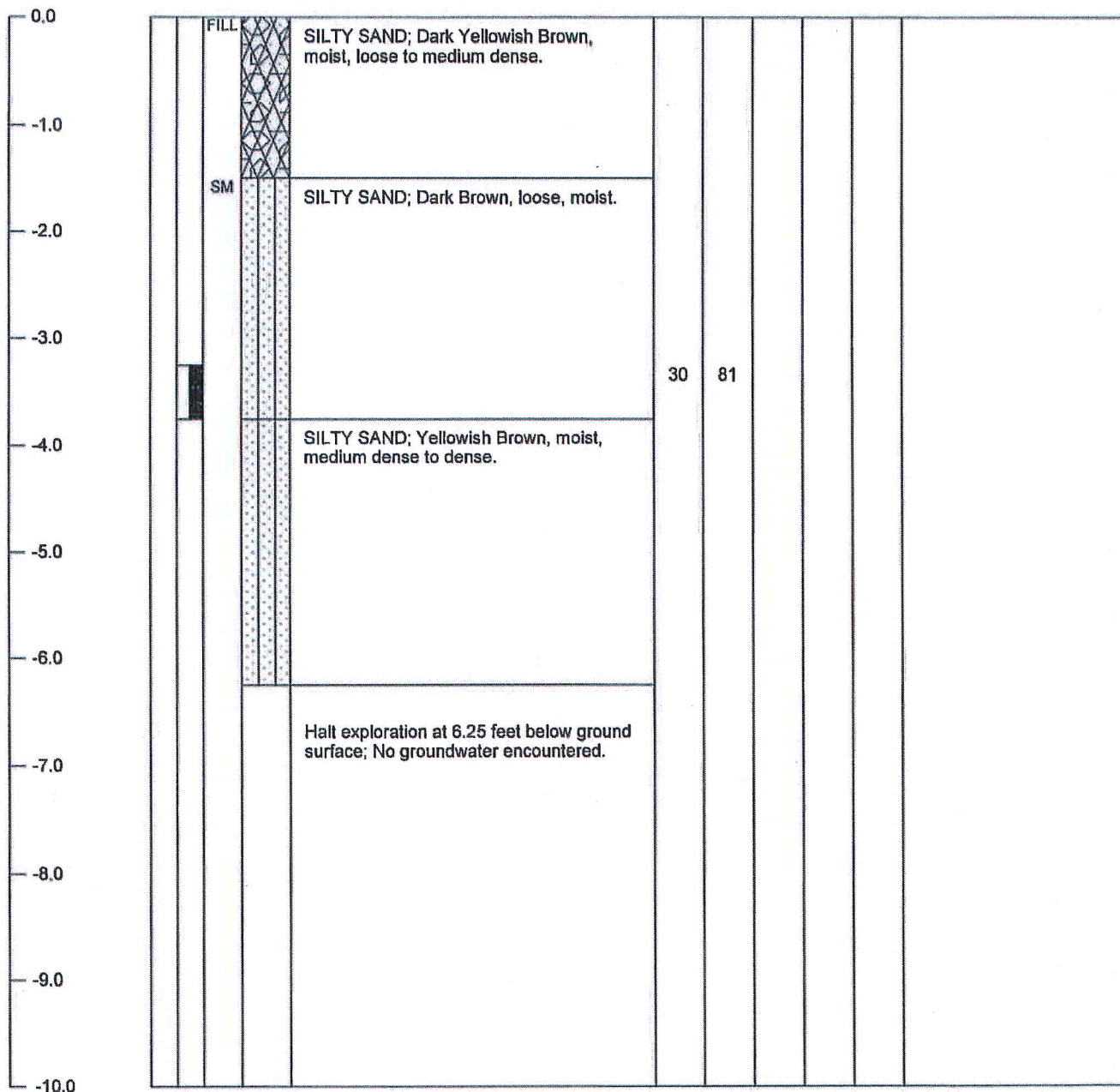
EXCAVATION METHOD: 3" Hand Auger

SAMPLER TYPE: 2.5-inch thin-walled tube

LOGGED BY: PRS

BORING
NUMBER
HB-4

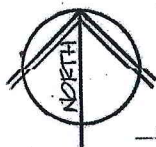
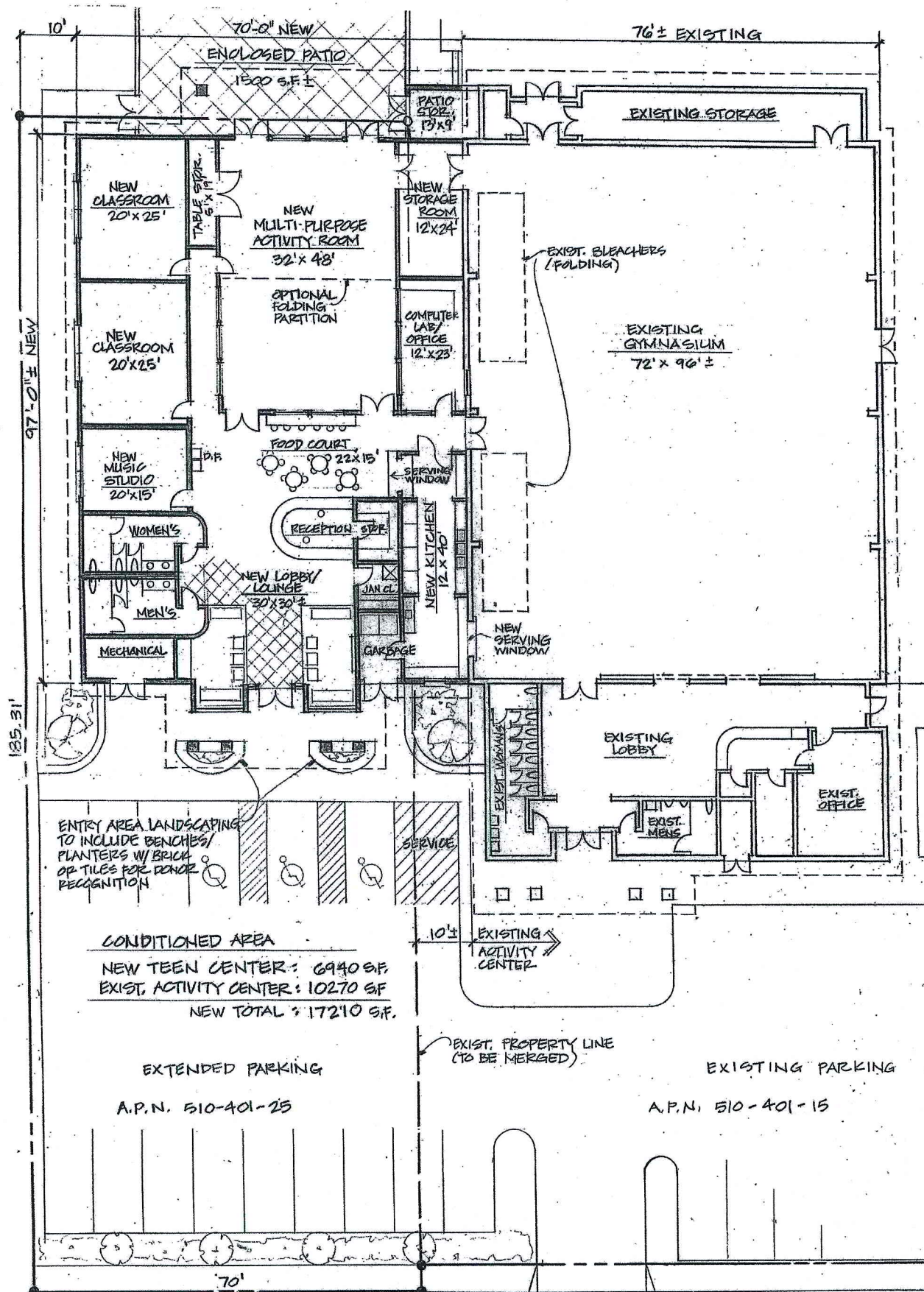
DEPTH (FT)	BULK SAMPLES TUBE SAMPLE	USCS	PROFILE	SOIL DESCRIPTION (ASTM D 2488)	% Moisture	Dry Density (pcf)	Unc. Cor. (pcf)	U.C. (pcf) by P.P.	% Passing 200	REMARKS
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The log and data presented are a simplification of actual conditions encountered at the time of drilling at the drilled location. Subsurface conditions may differ at other locations and with the passage of time.

FIELD LOG

Page Number 1 of 1

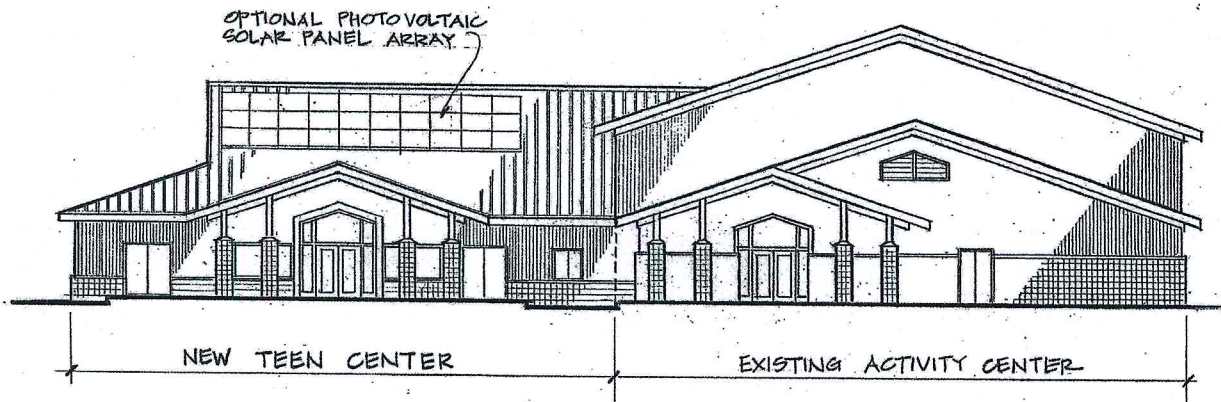


PRELIMINARY FLOOR PLAN

SCALE: 1/8" = 1'-0"

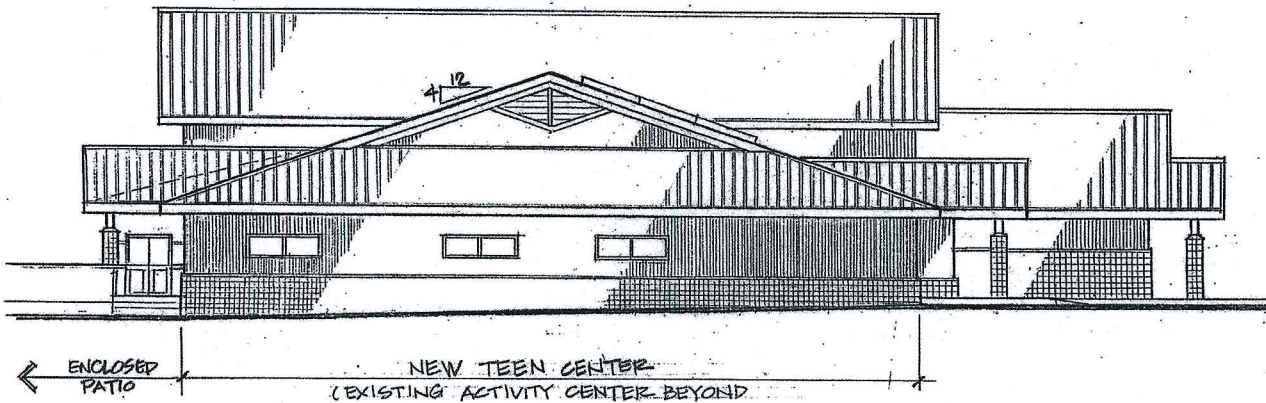
TEEN/COMMUNITY CENTER
ADDITION TO THE EXISTING ACTIVITY CENTER
MCKINLEYVILLE COMMUNITY SERVICES DISTRICT





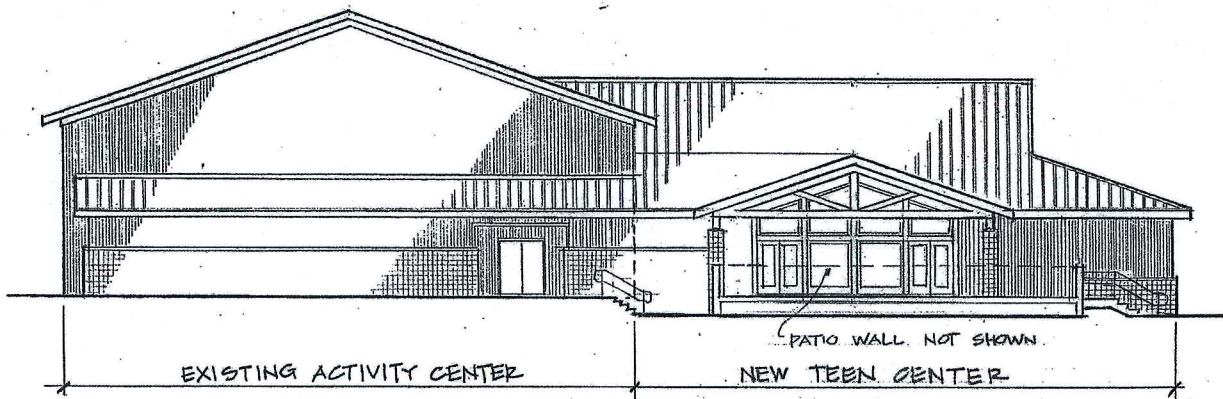
PRELIMINARY SOUTH ELEVATION

SCALE: 1/16" = 1'-0"



PRELIMINARY WEST ELEVATION

SCALE: 1/16" = 1'-0"



PRELIMINARY NORTH ELEVATION

SCALE: 1/16" = 1'-0"

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